

Eagle's Bluff Community Association, Inc.

Design Guidelines

00735360 Bk Vol Pg
0R 2838 602

General Information

Revised September 1, 2024

General Information:

The official submittal of plans and specifications to the NCC is to provide a review process for conformance to guidelines and standards adopted by the NCC. The result is to impart a visual character and a sense of community through controlled architecture, landscaping, and other design elements identified in these guidelines. The NCC is committed to a high level of design quality within our community by reviewing residential design and plotting submissions and working with builders to achieve this goal.

The design for residences, all new construction, subsequent construction, remodeling with exterior exposure, expansion and demolition of structures must be reviewed and approved by the NCC prior to commencement of an on-site building or construction activity. The approval process can be facilitated if complete and high-quality submittal documentation is provided to the NCC. The NCC reserves the right to alter the review process to ensure and adequately review all submissions while accommodating the needs of builders and property owners.

Requirements:

The builder/owner is required to submit complete and accurate design and construction documents to be examined by the NCC. Minimum submittal requirements are defined in the attached New Construction/Architectural Control Committee (NCC/ACC) Form.

Submittals:

Submittals shall be delivered/sent to the attention of the NCC, care of:

Rose City Property Management

108 North Houston Street, Bullard, Texas 75757

Mailing Address: PO Box 167, Bullard, Texas 75757

haley@rosecitymanagement.com; or fax 903-630-6356

VILLAS LOT
PLANNING CRITERIA

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ANCILLARY STRUCTURES:

- Not Permitted – Storage sheds, playhouses of a permanent nature, greenhouses, cabanas

BUILDING HEIGHT: Maximum 2 story

MINIMUM UNIT SIZE: One Story: 1800 square feet

COMPOSITE BUILDING SITES: Maximum of one (1) lot.

LOT COVERAGE: Maximum 60% (includes house, garage, and all paved surfaces, not including pool and surrounding deck)

DOG RUN GUIDELINE: 4' black wrought iron fenced dog run, in an inconspicuous location (by NCC approval) - provide evergreen hedge border.

DRIVEWAYS:

- **Materials Permitted** – Concrete or comparable; Asphalt or crushed stone NOT permitted
- **Width of driveway at curb** – 12 feet for swing in and 16 feet for front loaded; 5-foot radius at intersection with street curb
- **Maximum width of driveway at face of garage** – 2 cars: 20 feet
- **Location of driveway** – dependent on tree preservation and approved lot plan
- **Driveway side setback** – lot dependent
- **Circular Drives not permitted**

SIDEWALKS:

- **MATERIALS PERMITTED** – Concrete or Comparable; Asphalt or crushed stone NOT permitted
- **SIZE** – 4' width
- **LOCATION** - A 3' minimum barrier shall be maintained between the sidewalk and street curb, unless meandering for permanent equipment i.e. electrical, cable, water, etc. or trees greater than 3" caliper – gentle radii must be observed when avoiding existing trees
- **OTHER** - Compliance with federal and state law, including ADA is required

WALKWAYS:

- **MATERIALS PERMITTED** – Concrete or comparable; asphalt or crushed stone NOT permitted
- **SIZE** – 4' width
- **OTHER** – Must be continuous through sidewalks from house to curb. Compliance with federal and state law, including ADA is required

FENCING: 4' black wrought iron along rear and side only. Not permitted in the front yard.

GARAGE PLACEMENT:

- **General** – Front loaded or swing-in only; swing-in must not face toward a lake or golf course or open-space reserve.

GRADING: Final lot shall be graded so that storm water will NOT be diverted to common area or neighboring lots. Care is to be taken to avoid erosion during construction or final grading.

DRAINAGE: No water run-off is permitted onto a neighboring property. Depending on the location of property, run-off may be required to be directed to the street. Stormwater runoff from concrete surfaces and roofs must be contained on the owner’s property and properly discharged from property without causing damage to adjacent property. Drainage plan **SHALL** be submitted for approval, with application.

MAILBOXES: Stone, brick, or decorative posts.

POOL, HOT TUBS, DECKS: Rear Yards Only; Must obey side setbacks; No screen fencing permitted; No above ground swimming pools; safety fencing per state and/or local requirements; pool accessories above 4’ NOT permitted; screen pool equipment. Pools must be 15’ from rear of property line. No pools will be permitted or approved for any portion of vacant lots.

SEPTIC SYSTEM: Septic Systems must be installed in accordance with the requirements of AquaTexas, Inc.

SETBACKS:

- To be agreed on with the NCC. Zero Lot Line, with 1 side of the house on the property line and the other side with a 10-foot setback. See attached description.
- **REAR:** 25 feet for the home; 20 feet from edge of alley, pavement to garage.

TREE REMOVAL: Only trees within 10’ of the “footprint” of the foundation of the house, garage, and driveway/sidewalk, or present a safety hazard may be removed. All trees to be removed prior to construction shall be identified with **COLOR RIBBON**. To remove trees that are 3" or more in caliper (measured 1' from grade/base of tree), prior approval must be received. **DO NOT MARK TREES THAT WILL REMAIN.**

5’ CONTINUOUS USE EASEMENT (See Appendix): Permits sidewalk to meander around transformers and provides area for screening

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VILLAS LOT
LANDSCAPE CRITERIA

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BACK YARD REQUIREMENTS

- **Ornamental Trees:** N/A
- **Foundation Plantings:** Screen all foundations
- **Lawn:** Sod only

CORNER LOT REQUIREMENTS

- **ORNAMENTAL TREES:** (1) 1 ½ "caliper Dogwood or Redbud per corner side yard
- **MEDIUM SIZE SHRUBS:** 5 at 3-5 gallons

FRONT YARD:

- **Large Shrubs or Ornamental Trees:** (1) at 15 gal. or (1) at 1 ½" caliper
- **Medium Size Shrubs:** 10 at 3-5 gallon
- **Border Plants:** 8 at 1 gallon
- **Lawn:** Sod only

LANDSCAPE LIGHTING:

- Permitted – Cast aluminum, brass, or wood fixtures
- Not Permitted – Plastic lighting fixtures, colored lighting, pole-mounted fixtures, exposed transformers, and wiring, "spill-over" lighting onto neighboring yards, streets, or public spaces

LANDSCAPE PLAN SUBMITTAL TO NCC: **Required** – 30 days prior to installation or 3 months after the start of new home construction

PLANTING BEDS: Shredded pine bark, cypress or cedar mulch, gravel, or rock.

MECHANICAL EQUIPMENT & METERS: Screen all sides visible to the public

SIDE-BY-SIDE DRIVEWAYS ON NEIGHBORING LOTS: N/A

UTILITY PEDESTALS: Screen all sides visible with evergreen hedge or shrubs.

VILLAS LOT
ARCHITECTURAL CRITERIA

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ADDRESSES: Required – Pre-cast concrete standard located on brick or stone utility pedestal wall, painted on the curb, or listed on a brick or stone mailbox.

ANTENNAE, SATELLITE DISHES & RADIO TOWERS: Antennae and satellite dishes must be placed on side or rear slope not facing street or golf course. They may not extend above the ridgeline of the roof. Towers are not permitted.

ARCHITECTURAL STYLE: The Texas style of architecture can best be described as “sensible and straightforward rather than stylish and showy” from Impressions by Lawrence Speck.

- Appropriate. American Cottage, English Cottage, English Tudor, French Country, Two-story Ranch, Saltbox, Palladian, Queen Anne, Neo-classical, Neo-Georgian (refer to Azalea District and Bergfeld Park), Mediterranean/ Spanish, and Craftsman.
- Not Appropriate. Carpenter Gothic, Prairie, Italianate, Farmhouse, Victorian (Ornate), Empire, Charleston, Dutch Gable, Southwest, and Plantation.

CHIMNEYS:

- Exterior – Masonry or Stone only
- Gas Fireplaces – Direct vent permitted.

ELEVATIONS: No blank walls may face a street, lake, golf course or common area.

EXTERIOR MATERIALS NOT PERMITTED: Metal siding; naturally weathered wood, Masonite siding, plywood siding.

MASONRY PERCENT REQUIREMENT: 75% brick, stone, or stucco on the entire home; 75% brick, stone or stucco on the front of the house.

FOUNDATIONS: Limited clearing beyond 10' of foundation line; tree and form survey required.

GARAGES:

- Vehicle Storage – Minimum 2 car garage
- Garage Doors – Double Front facing garage doors permitted. Metal, paneled construction; stained or painted wood
- Swing In Garages – Permitted; Rear and side of garage facing the street must have windows
- Detached Garages – not permitted
- Golf Cart Storage – Must be contained within garage

PAINT: Maximum of 3 colors per dwelling; 100% durable acrylic encouraged; submit palette to NCC

ROOF:

- Pitch: 8:12 Maximum. Tile approved by NCC and appropriate for architectural style
- Materials: 25 yr. warranty such as Prestique II, GS Firehalt or equal; standing metal seam (textured, non-metallic) on patios, dormers, etc.; natural stone, slate, or concrete tiles. Clay tile approved by NCC and appropriate for architectural shingle style.
- Roof Forms Not Permitted: Flat or pitch greater than 8:12
- Solar Panels: Permitted on rear and/or south facing roof. No solar panels permitted on front, or facing the golf course.

SHUTTERS: Each shutter must be appropriate for the shape of the window

TRIM: Wood trim of finish grade stock (stained or painted), Hardi-plank concrete siding

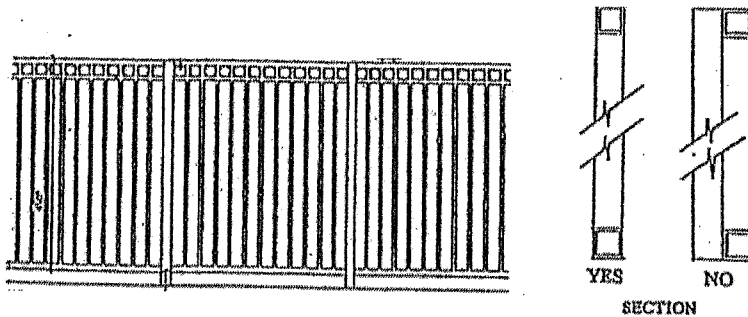
WALL/ RETAINING WALL STRUCTURE: Must have a licensed engineer sign off on all wall structure designs. The wall must be in aesthetic harmony with the external design of existing structures.

WINDOWS:

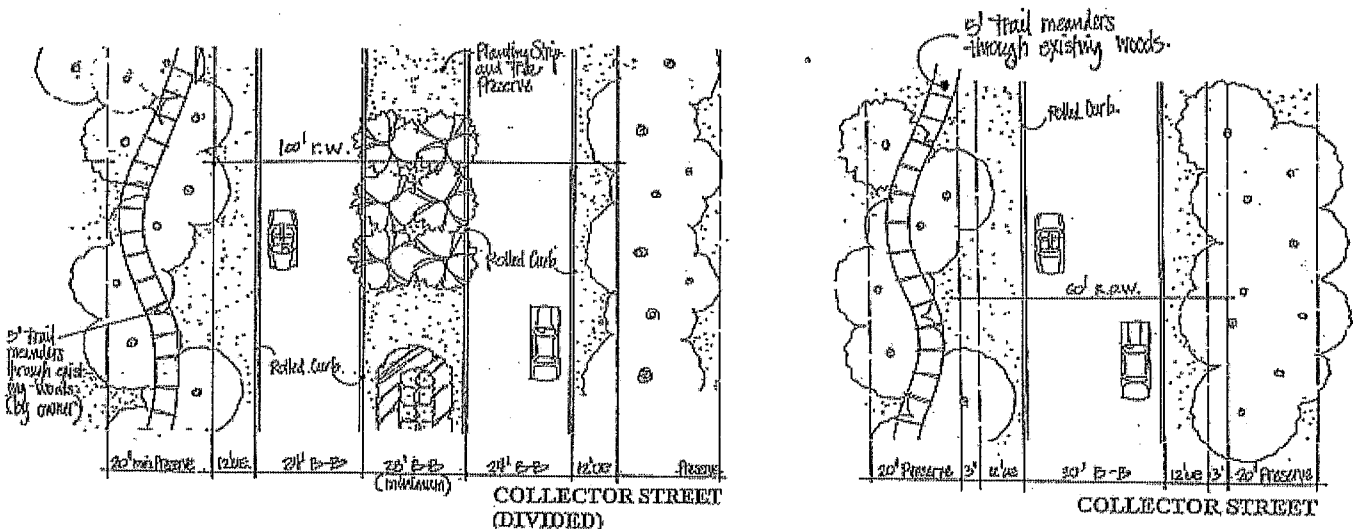
- Permitted – Wood, metal-clad or vinyl-clad which compliment style and color
- Not Permitted – Aluminum, reflective glass or placing, wrought iron ornamentation or burglar bars, metal awnings, solar screens

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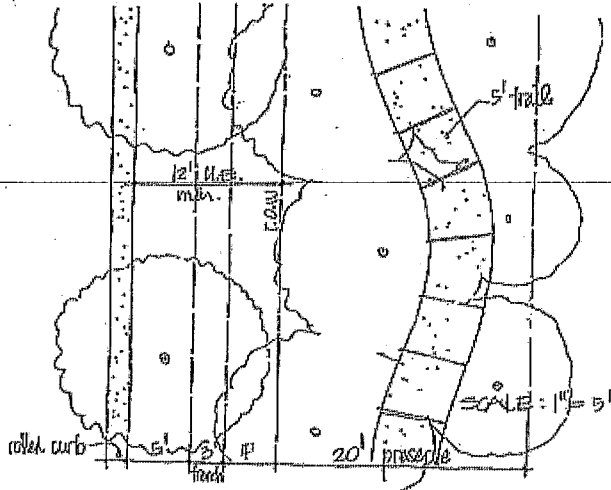
FENCING STANDARDS



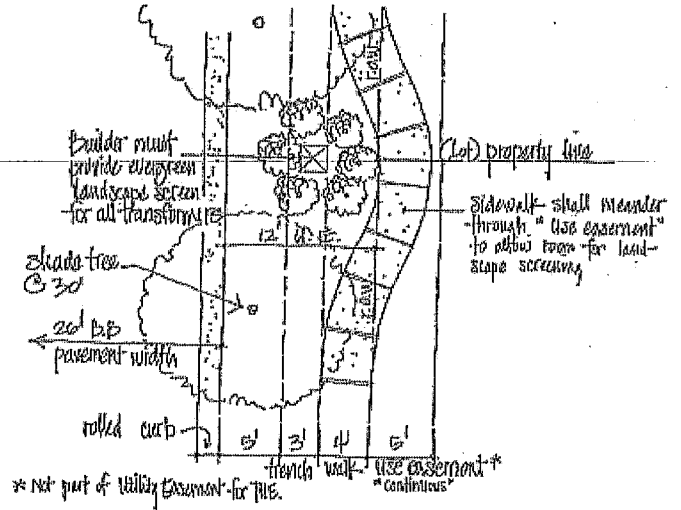
**EAGLE'S BLUFF
LAKE PALESTINE
STREET STANDARDS**



EAGLE'S BLUFF LAKE PALESTINE UTILITY AND CONTINUOUS USE EASEMENTS

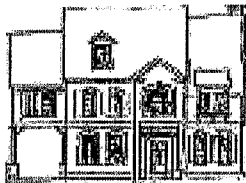


COLLECTOR STREET UTILITY EASEMENT

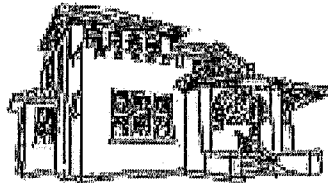


LOCAL STREET UTILITY EASEMENT & CONTINUOUS USE EASEMENT

EAGLE'S BLUFF LAKE PALESTINE APPROPRIATE ARCHITECTURE



Two-story house with a prominent front porch and a gabled roof.



Two-story house with a covered front porch and a gabled roof.



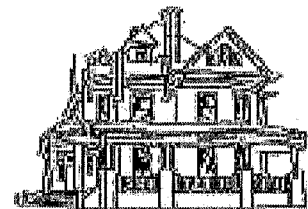
Two-story house with a gabled roof and a front porch.



Two-story house with a gabled roof and a front porch.



Two-story house with a gabled roof and a front porch.

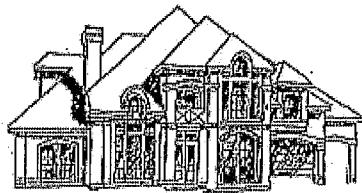


Two-story house with a gabled roof and a front porch.



EAGLE'S BLUFF
 LAKE PALESTINE
 INAPPROPRIATE ARCHITECTURE

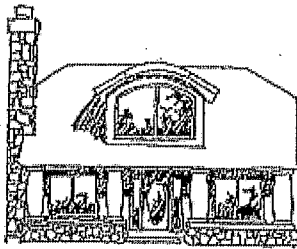
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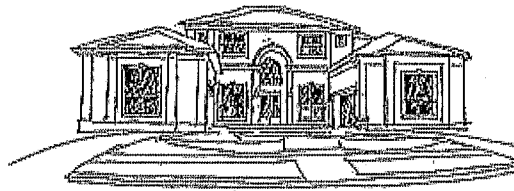
Too much glass and not enough building.



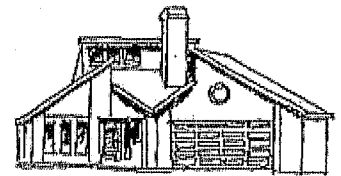
Three-car front loaded garages not permitted.
 Garages not permitted greater than 16' (sixteen feet) from front elevation.



Oversized roof dormers and columns too large of a scale for size of house. More roof than house not permitted on front elevations.

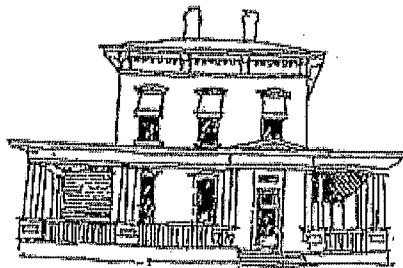


Roof pitch (8:12) not appropriate for this region.
 Two front-loaded swing-in garages facing each other are not permitted.

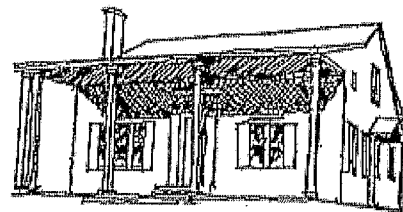


Cleareezy porches not permitted. Front loaded garages not permitted unless setback 16' (sixteen feet) or more from the front elevation. Front loaded garages must be supported by a column.

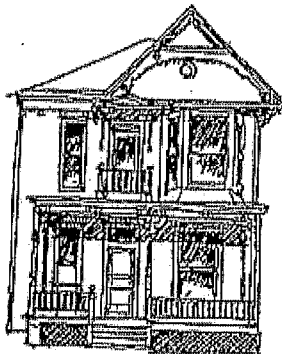
EAGLE'S BLUFF
 LAKE PALESTINE
 INAPPROPRIATE ARCHITECTURE



Inappropriately scaled covered porch and architectural style.



Farmhouse style not permitted.



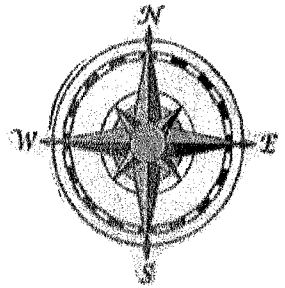
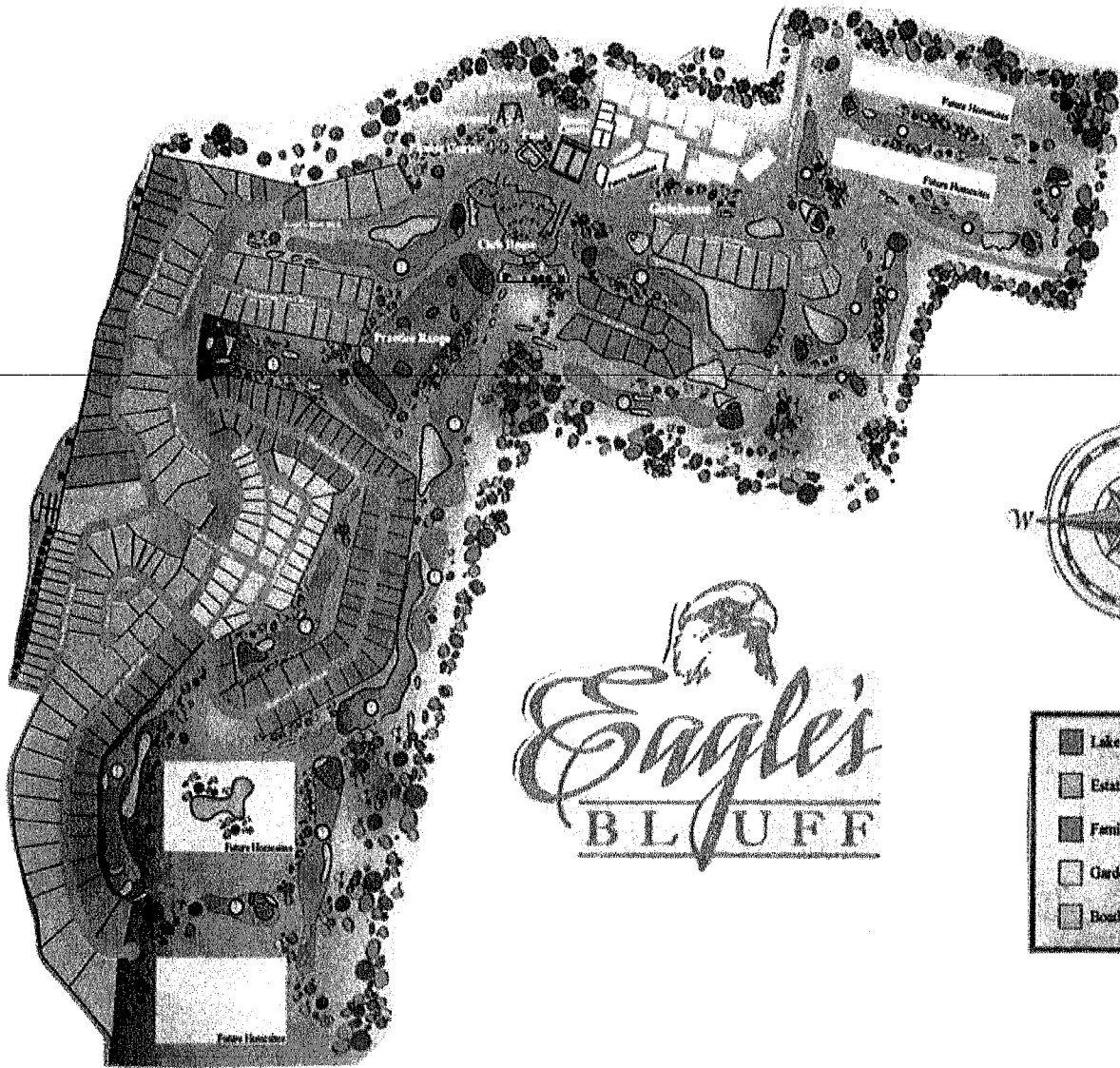
Queen Anne style not permitted. Too ornate for this region.








Italianate style of architecture not permitted.



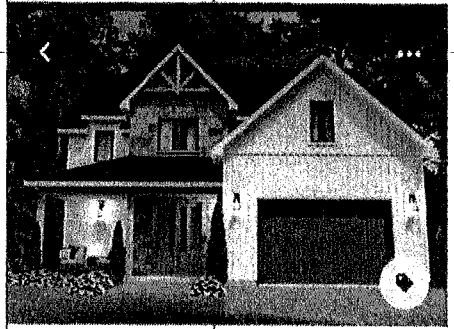
Charleston style not appropriate for this region.

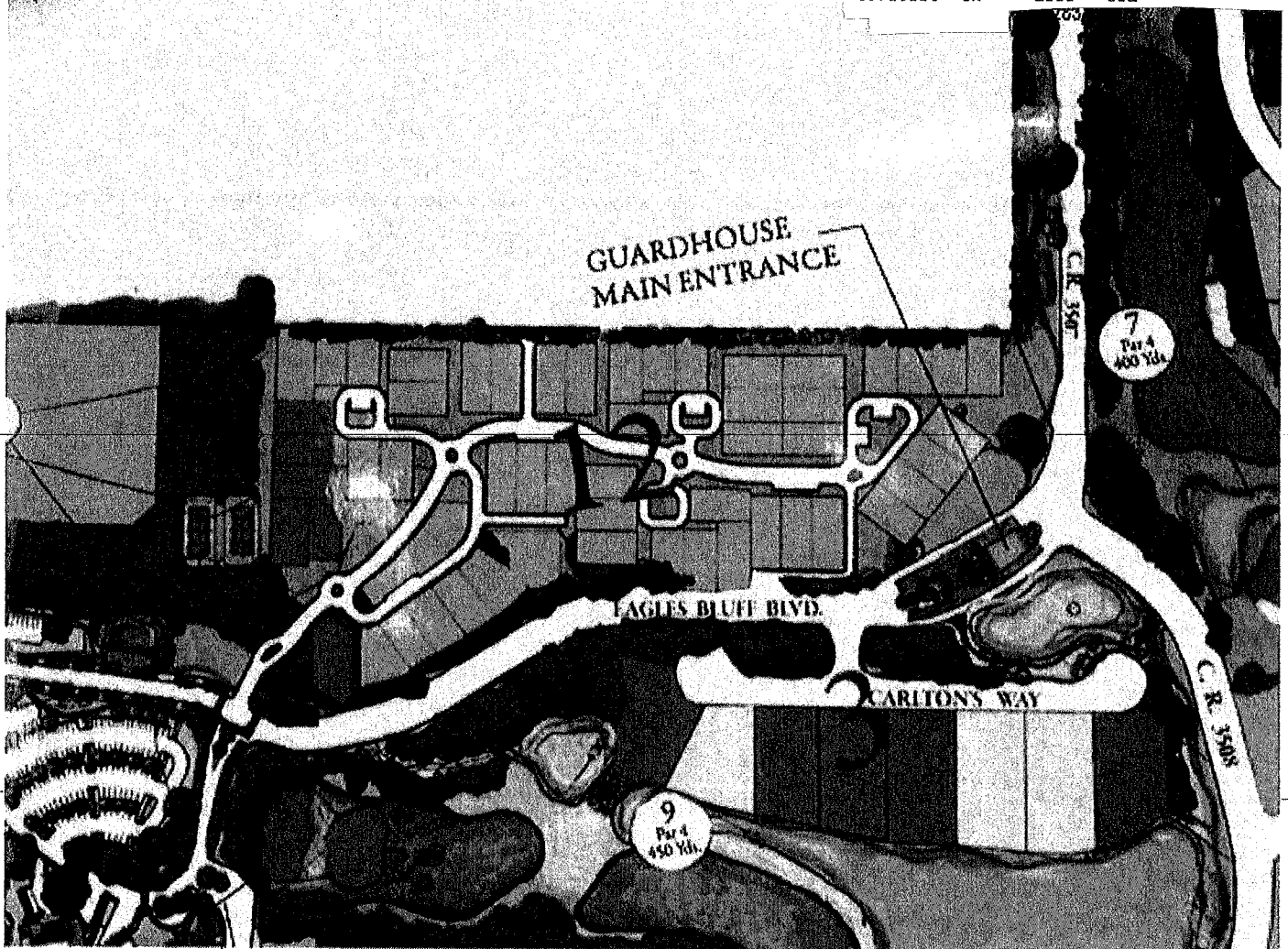


Eagle's BLUFF

	Lake Palestine Lots
	Estate Lots
	Family Lots
	Garden Homes
	Boatboat Lots

Appropriate Architecture





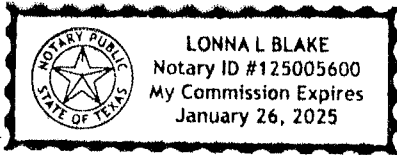
Setbacks

- A. The Architectural Control Committee shall determine the distance that each Dwelling Unit or other Permanent Improvement shall be set back from each boundary line (front, back and side) of each Lot. On one side of each Lot, there will be a building setback line as determined by the Architectural Control Committee, and no Dwelling Unit or other Permanent Improvement shall be located on any Lot nearer to such side Lot line than the distance as determined by the Architectural Control Committee. On the other side of each Lot (the "Zero Lot Line Side"), there shall be no building setback and the foundation of a Dwelling Unit may abut the boundary line of the Lot on such other side. On the Zero Lot Line Side of a Lot (the "Dominant Lot"), roof overhangs, eaves, and gutters may encroach over and across the boundary line of the Dominant Lot onto the adjoining Lot (the "Servient Lot"), and an easement appurtenant of (2) feet (the "Easement") is hereby created and reserved on each Servient Lot for that portion of an Dominant Lot Owner's roof overhangs, eaves, and gutters that extend and encroach across the Dominant Lot boundary line over and above the Servient Lot. Such Easement shall run with the land. Additionally, a temporary repair and construction easement of ten (10) feet (the "Temporary Construction Easement") is hereby created and reserved on each Servient Lot to allow the Owner of the adjoining Dominant Lot to maintain and repair the roof overhangs, eaves, and gutters of the Dwelling Unit on the Dominant Lot. Such Temporary Construction Easement shall run with the land and shall be used only for the purposes of maintaining and repairing the roof overhangs, eaves, and gutters of the Dwelling Unit on the Dominant Lot. The Architectural Control Committee may, unilaterally without amendment to this Declaration, permit a change in any direction of the setback line on any Lot when in the sole opinion of the Architectural Control Committee it is determined to be advisable to permit such change; provided, however, that no such change shall be in any manner deemed to be a waiver of any of the Covenants nor shall any change in any manner be deemed or construed as a statement of precedent for the consideration of any other setback change.
- B. The Owner of each Lot (the "Easement Holder") shall have an easement appurtenant over, across, on and under the Lot (the "Servient Lot") located immediately next and adjoining the Zero Lot Line Side of the Easement Holder's Lot as follows:
1. The easement shall be ten (10) feet in width, and easement shall be located within the building setback line of the Servient Lot as provided above.
 2. The easement shall run from the front boundary line of the Servient Lot to the back boundary line of the Servient Lot.
 3. The easement shall be used solely for allowing the Easement Holder, and his contractors, agents and representatives, to access the Servient Lot for the purposes of constructing the Dwelling Unit and other Permanent Improvements upon the Easement Holder's Lot, reasonable maintenance of the Dwelling Unit and other Permanent Improvements upon the Easement Holder's Lot, and reasonable repair, remodeling or reconstruction of the Dwelling Unit and other Permanent Improvements upon the Easement Holder's Lot.

STATE OF TEXAS

COUNTY OF SMITH

This instrument was acknowledged before me on September 18, 2024
by Haury Feelt



Lonna L. Blake
NOTARY PUBLIC, STATE OF TEXAS
NOTARY'S PRINTED NAME:
Lonna L. Blake

MY COMMISSION EXPIRES:

January 26, 2025

Filed for Record in:
Official Public Records
Cherokee County

On: Sep 18, 2024 at 11:10A

As a
Recordings

Document Number: 00735360

By,
Tracy Dement,
Deputy

STATE OF TEXAS COUNTY OF CHEROKEE

I hereby certify that this instrument
was filed on the date and time stamped
hereon by me and was duly recorded in
the volume and page of the named
records of:

Cherokee County
as stamped hereon by me.

Sep 18, 2024

HONORABLE Laverne Lusk, COUNTY CLERK
Cherokee County